

REDEVELOPMENT OPPORTUNITY

PROMINENT LOCATION IN LITTLE ITALY

210 S. CENTRAL AVENUE

BALTIMORE, MARYLAND 21202

FOR SALE



BROKERAGE • CONSULTING • INVESTMENT • DEVELOPMENT

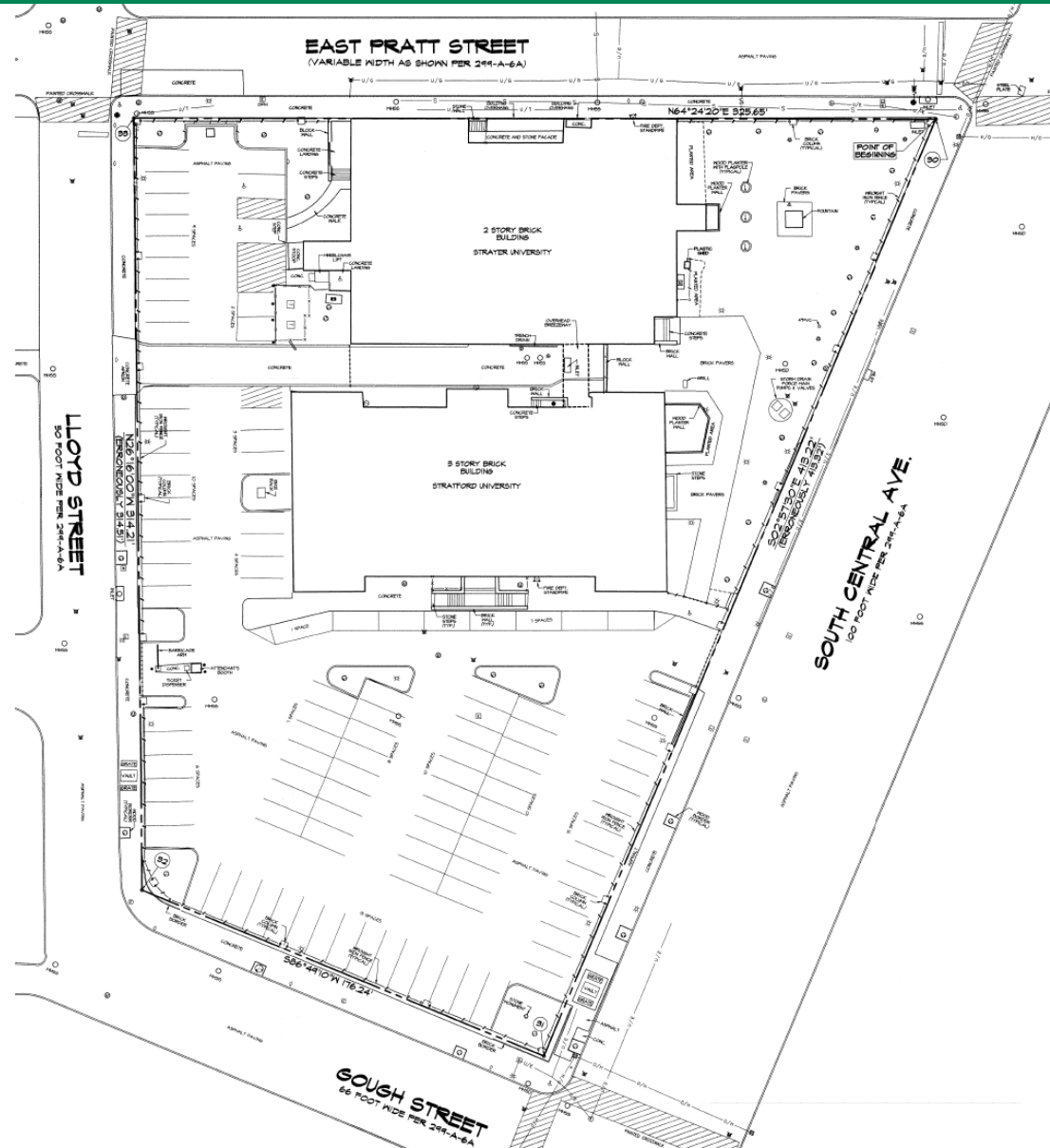
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CONTENTS

The Offering	3
Aerial Overview	4
Property Information	5
Zoning Summary	6
Redevelopment Scenarios	7
Property Gallery	9
Transaction Details	10

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THE OFFERING

210 S. Central Avenue

HOGAN is pleased to offer for sale the previous for-profit trade school known as, Stratford University ("Property"). The +/- 69,156 sf of improvements is split across two structures sited on +/- 2.01 acres of land, and is centrally located in Little Italy between Harbor East, downtown Baltimore, and the Johns Hopkins Medical Institutions.

Having been long considered a natural extension of the stunning and affluent Harbor East submarket, this property provides great optionality to the savvy investor seeking an adaptive re-use and/or ground up redevelopment opportunity.

For more information, contact:

Jake Ermer, EVP

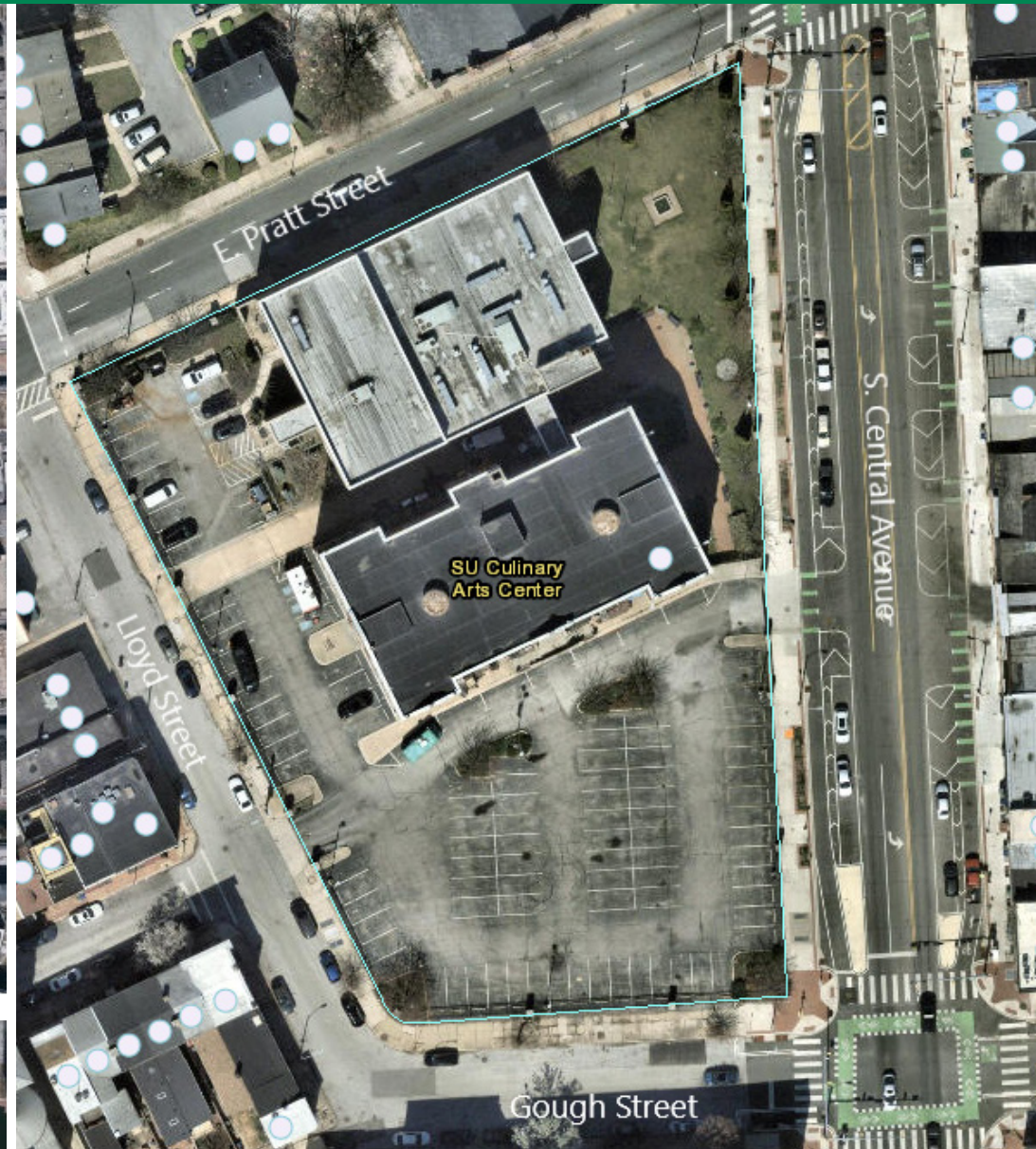
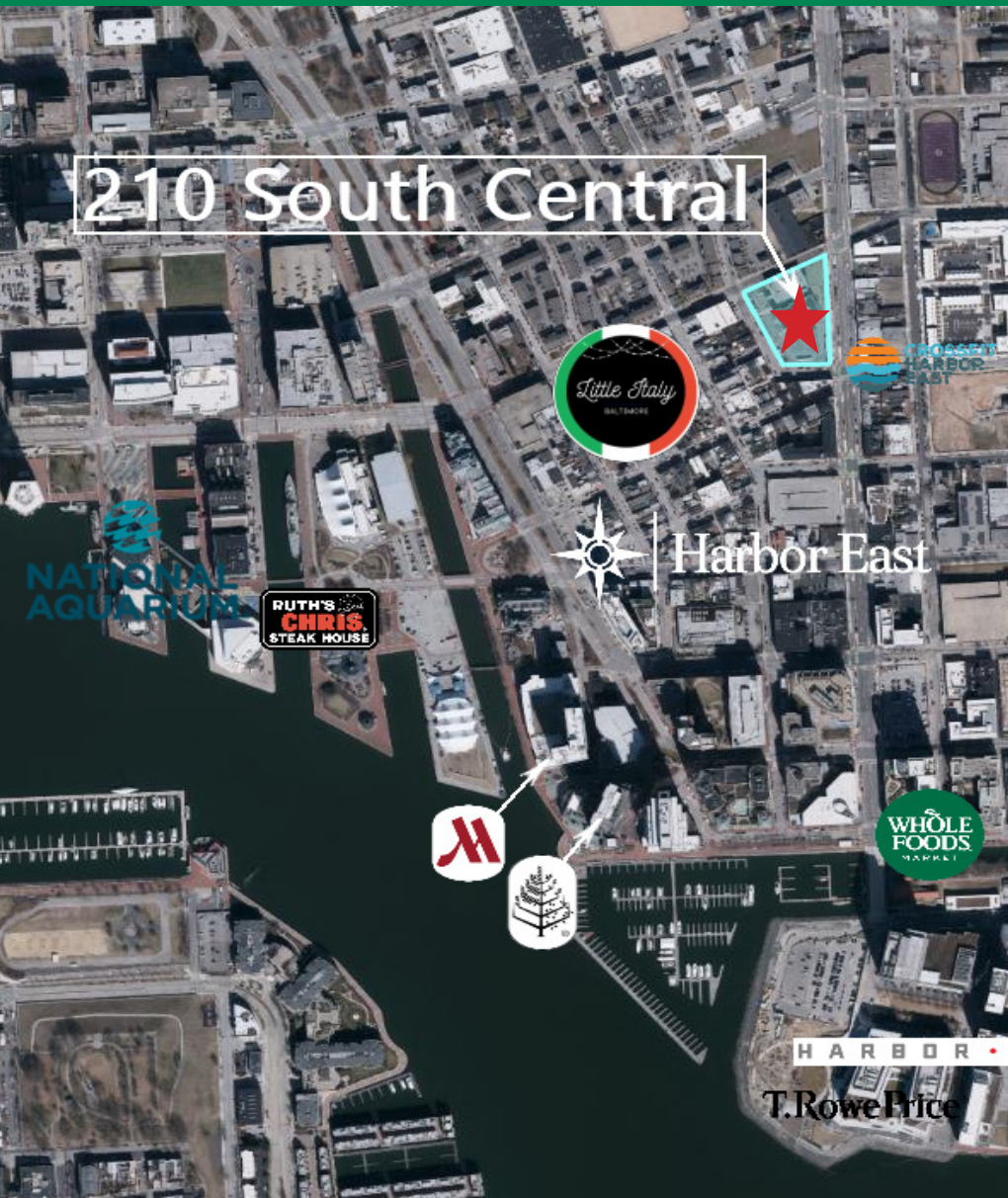
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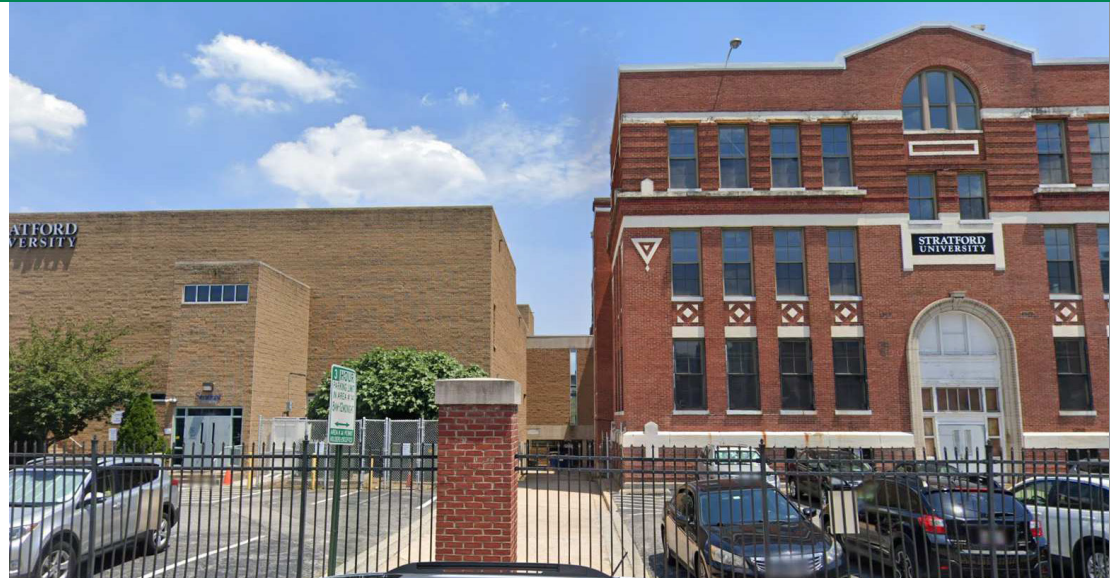


AERIAL OVERVIEW



PROPERTY INFORMATION

Property Type:	School
Class:	C-2
Improvements:	69,156 SF
Land:	2.01 acres
Number of Stories:	2 & 3
Year Built:	1920



Location Highlights:

Upscale & dynamic Harbor East / Little Italy location

Blocks to Downtown Baltimore

Located in Economic Incentive Area, Empowerment Zone, Grocery Store Incentive Area, Area eligible for Historic Tax Credits, High-Efficiency Tax Credit

Large footprint 2+ acre site

ZONING SUMMARY

Commercial District

C-2

Small to medium-scale commercial use. Designed to accommodate pedestrians and, in some instances, the automobile. Mixed-use development is appropriate within this district.

Permitted Uses:

Residential:

- Dwelling (Live-work, Multifamily, Care Facility)
- Day-Care Home: Adult or Child

Institutional:

- Educational Facility: Post-Secondary
- Place of Worship

Commercial:

- Financial Institution
- Health-Care Clinic
- Hotel or Motel
- Office
- Retail Goods Establishment (No Alcoholic Beverage Sales)



REDEVELOPMENT SCENARIOS

237 Unit Multifamily Concept



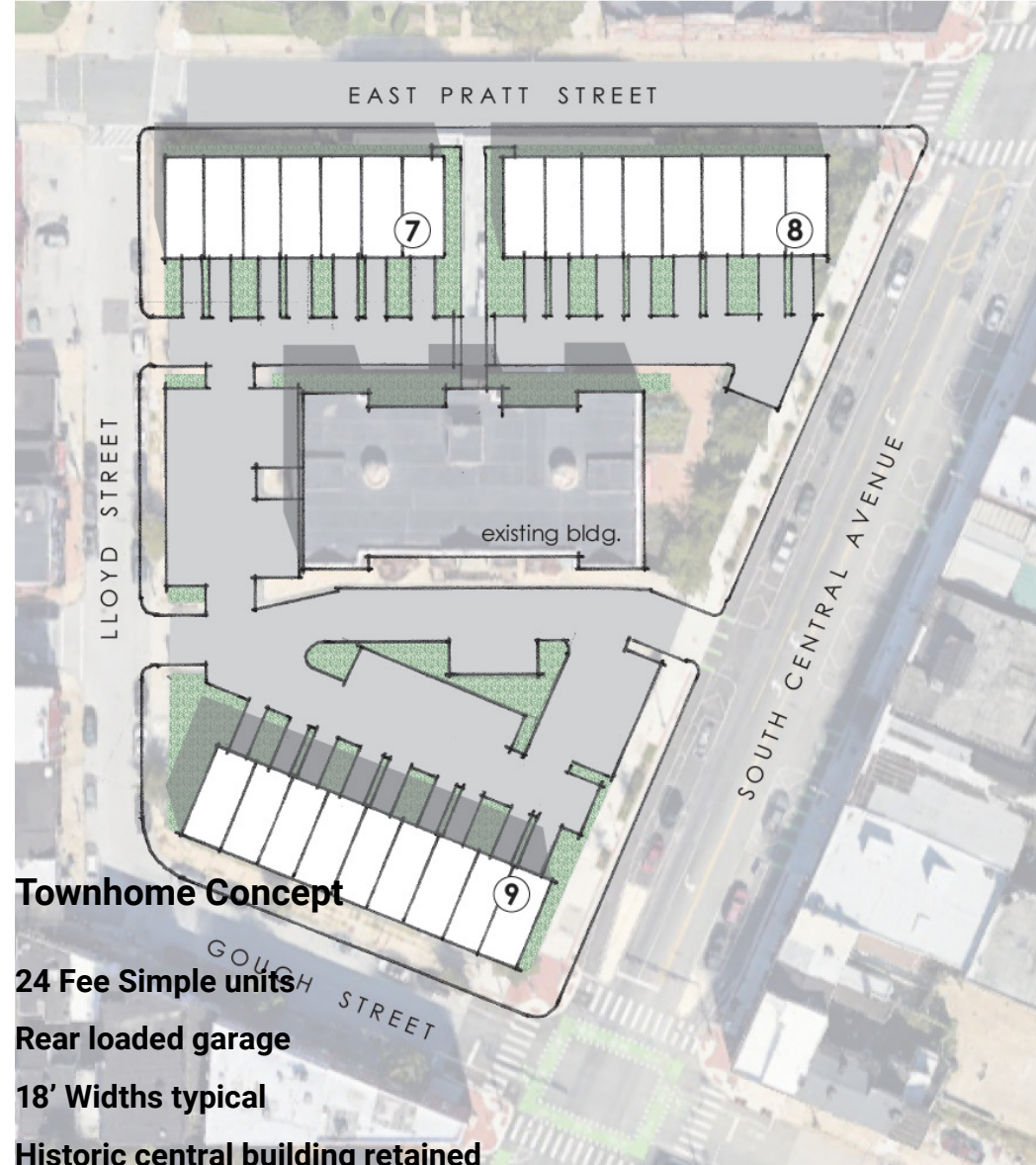
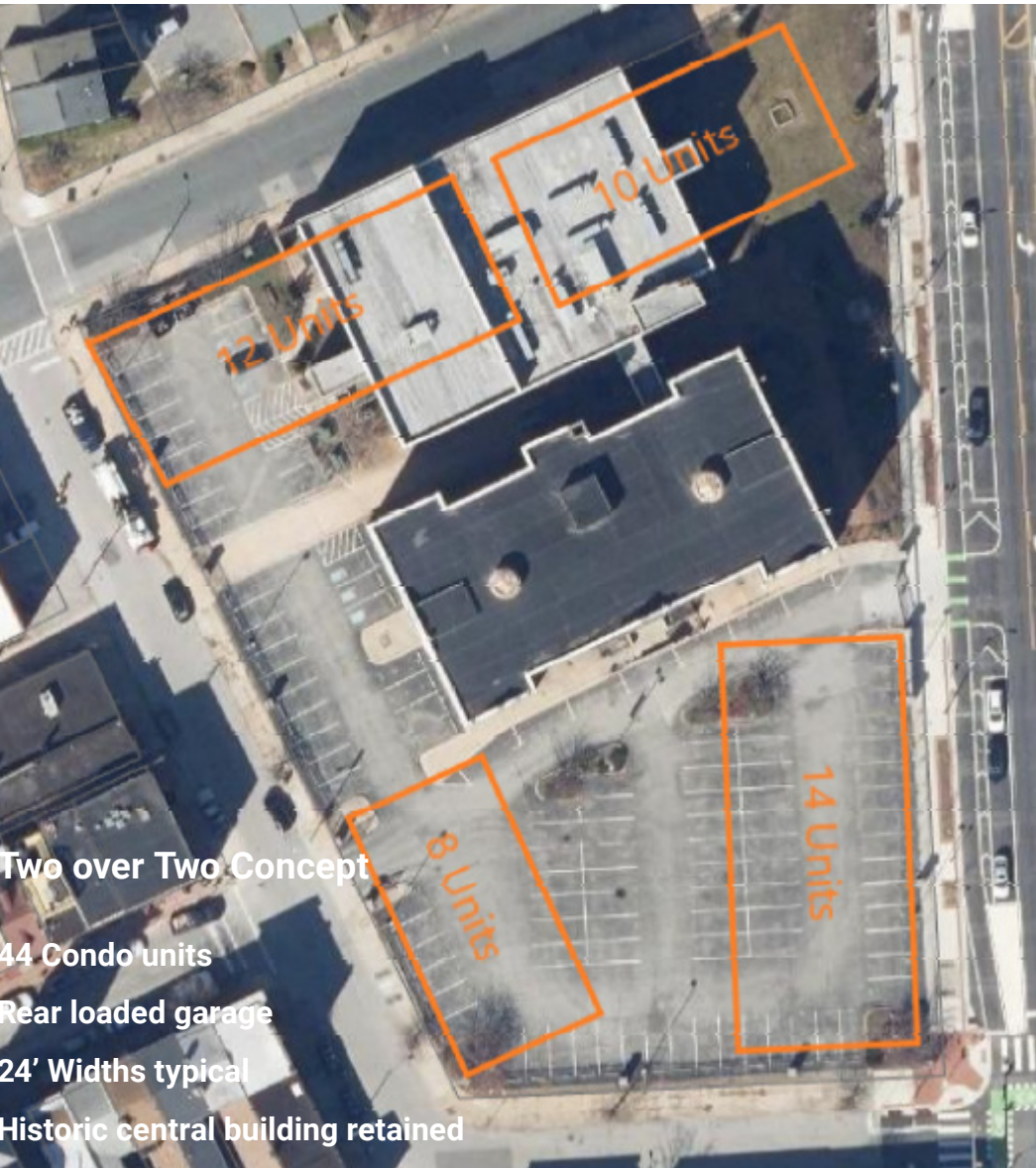
AERIAL VIEW - PROPOSED
200 S. CENTRAL AVENUE
BALTIMORE, MD
3/31/2022

MOSELEYARCHITECTS

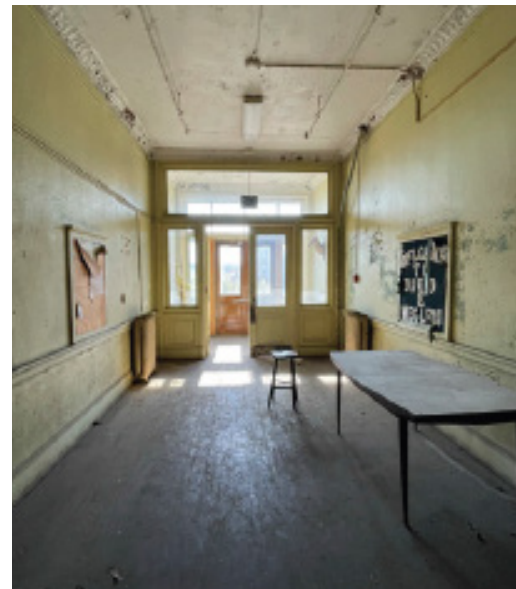
FLOURA TEETER
landscape architects

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REDEVELOPMENT SCENARIOS



PROPERTY GALLERY



TRANSACTION DETAILS

Due Diligence Items in Document Vault

- Survey, Phase I
- Master Plan, Zoning, and Demographic Information
- Redevelopment concept plans

Letters of Intent

- Price: Varies based on closing timeline
- Deposit: Non-refundable at expiration of feasibility period
- Feasibility Period: 60 days suggested
- Approvals: Subject-to offers considered
- Property Condition: As-is, Where-is



DISCLAIMER

This Memorandum contains select information pertaining to the Property and the Owner, and does not purport to be all-inclusive or contain all information which prospective Buyers may require to evaluate a purchase of the Property. The information contained in this Memorandum has been obtained from sources believed to be reliable, but has not been verified for accuracy, completeness, or fitness for any particular purpose. All information is presented "as is" without representation or warranty of any kind. Such information includes estimates based on forward-looking assumptions relating to the general economy, market conditions, competition and other factors which are subject to uncertainty and may not represent the current or future performance of the Property. All references to acreages, square footages, and other measurements are approximations. Additional information and an opportunity to inspect the Property may be made available to qualified prospective purchasers. You are advised to independently verify the accuracy and completeness of all summaries and information contained herein, to consult with independent legal and engineering advisors, and carefully investigate the economics of this transaction and Property's suitability for your needs. ANY RELIANCE ON THE CONTENT OF THIS MEMORANDUM IS SOLELY AT YOUR OWN RISK.

The Owner expressly reserves the right, at its sole discretion, to reject any or all expressions of interest or offers to purchase the Property, and/or to terminate discussions at any time with or without notice to you. All offers, counteroffers, and negotiations shall be non-binding and neither Hogan nor the Owner shall have any legal commitment or obligation except as set forth in a fully executed, definitive purchase and sale agreement delivered by the Owner.